



**CITY OF DARDENNE PRAIRIE  
2032 HANLEY ROAD  
DARDENNE PRAIRIE, MO 63368**

**PLANNING AND ZONING COMMISSION AGENDA  
June 11, 2025  
7:00 p.m.**

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CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ATTENDANCE      Alderman Carla Detweiler  
                         Chairman Michael Wooldridge  
                         Commission members:  
                         Dale Bailey  
                         Ed Etzkorn  
                         Rich Musler  
                         David Northcutt  
                         Pam Pollard  
                         Craig Stankovich

PUBLIC COMMENT

PUBLIC HEARING

Resolution to consider imposing a moratorium on the acceptance and review of rezoning applications for the purpose of constructing multi-family dwellings pending the Commission's review of policies, regulations and standards pertaining thereto.

APPROVAL OF MINUTES

Approval of 5-14-25 Work Session and Regular Meeting Minutes

COMMISSION COMMUNICATIONS

OLD BUSINESS

Dardenne Prairie Apartments- Amended PUD Final Plan- Reapproval

NEW BUSINESS

Resolution to consider imposing a moratorium on the acceptance and review of rezoning applications for the purpose of constructing multi-family dwellings pending the Commission's review of policies, regulations and standards pertaining thereto.

ADJOURNMENT

# PLANNING & ZONING MINUTES

May 14, 2025

The City of Dardenne Prairie Planning & Zoning Commission meeting was called to order at 7:01 p.m. The meeting was held at the Dardenne Prairie City Hall located at 2032 Hanley Road.

The meeting was opened with the Pledge of Allegiance.

Present at roll call were Alderman Detweiler, Chairman Wooldridge, Commissioners Bailey, Etzkorn, Musler, Northcutt, Pollard, Commissioners Fry and Stankovich were absent. Also present was Planning & Development Manager Todd Streiler, City Administrator Cathy Pratt and City Attorney Drew Weber.

PUBLIC COMMENT – No one present to speak.

A motion was passed to open the public hearing by Commissioner Northcutt and seconded by Commissioner Etzkorn. Motion passed unanimously.

PUBLIC HEARING- “ND” to “C-3, PUD” Mixed Use (Multi-family & Commercial)

Petitioner was represented by Charles Wardle of Bax Engineering who spoke briefly on the request for rezoning.

APPROVAL OF MINUTES- Approval of 4-09-25 Minutes

A motion was made by Commissioner Etzkorn and seconded by Commissioner Northcutt. Motion passed unanimously.

COMMISSION COMMUNICATIONS

There were none.

OLD BUSINESS

1. PUD Rezoning Request – “ND” to “C-3, PUD” Mixed Use (multi-family & Commercial)

A motion was made by Chairman Wooldridge to recommend denial for the Rezoning from “ND” to “C-3, PUD” Mixed Use to the Board of Alderman. Motion was seconded by Commissioner Bailey. Motion passed.

A motion was made by Chairman Wooldridge to recommend denial for the Area Plan to the Board of Alderman. Motion was seconded by Commissioner Northcutt. Motion passed unanimously.

NEW BUSINESS

1. PUD Final Site Plan Request- Villas @ Dardenne Place Phase II- (NE corner of Feise and Hanley). Owner: Tim Miller, Bridgewater)

A motion was made by Commissioner Etzkorn to recommend approval to the Board of Alderman with the following additional conditions to Final Plan submitted and dated 4-30-2025:

## PLANNING & ZONING MINUTES

May 14, 2025

- a) Property owner to provide for easement from manhole BDE on Sheet 204 to south property line for private sewer connections on Record Plat.
- b) Property Owner is responsible for installation of all landscaping.

Motion was seconded by Commissioner Bailey. Motion passed unanimously.

2. PUD Final Site Plan Request- Villas @ Dardenne Place Phase III- (SW corner of Feise and Hanley). Owner: Tim Miller, Bridgewater)

A motion was made by Commissioner Northcutt to recommend approval to the Board of Alderman with the following additional conditions to Final Plan submitted and dated 4-29-2025:

- a) Property owner to provide for easement from manhole along Hanley Road to the east property line for private sewer connections on Record Plat.

Motion was seconded by Commissioner Bailey. Motion passed unanimously.

3. Preliminary & Final Plat: Commerce Park West- Lot Split: (Weldon Spring Rd & Technology Dr.) Owner: Andrew Hoefener, Commerce Park West , LLC.

A motion was made by Commissioner Bailey to recommend approval to the Board of Alderman with the following additional conditions to Site Plan submitted and dated 5-5-2025:

- a) Provide a sidewalk on the Northside of Lots 1 and 2.
- b) Add to Record Plat monumentation of common line between Lots 1 & 2.

Motion was seconded by Commissioner Musler. Motion passed unanimously.

## ADJOURNMENT

A motion was made by Commissioner Etzkorn, seconded by Commissioner Northcutt to adjourn the meeting at 8:13 p.m. Motion passed unanimously.

Respectfully submitted,

---

Cathy L. Pratt  
City Administrator



Todd M. Streiler AICP, LEED AP  
Planning & Development Manager  
[Tstreiler@DardennePrairie.org](mailto:Tstreiler@DardennePrairie.org)  
Phone 636.755.5314

## Staff Report

TO: Planning and Zoning Commission

FROM: Todd Streiler, Planning & Development Manager

DATE: June 4, 2025

SUBJECT: Dardenne Prairie Apartments 1<sup>st</sup> Amended Final Plan- **Reapproval**

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### **Project Background:**

The Amended Area Plan for the Dardenne Prairie Apartments was approved on January 8, 2025 and on January 22, 2025, the Amended PUD Final Plan was approved via Ordinance #2340. According to the City's PUD regulations, the Final Plan expires 180 days after approval unless improvement plans have been provided. The Amended Final Plan will expire in July 2025, therefore, it needs to be re-approved to reset the 180-day improvement plan requirement to maintain compliance with Section 405.340 C. which states; "*Approval of the Final Plan of a PUD shall expire and be of no effect one hundred eighty (180) days after the date of approval unless and until all appropriate fees have been paid and the City shall have approved the improvement plans for the development authorized by said Final Plan.*"

The improvement plans have not been provided because the petitioner has not closed on the property. He has been working with the current landowners and the State of Missouri to obtain the detention area (Common Ground C) which was purchased with HUD monies and owned by the Missouri Housing Development Corporation (MHDC). The petitioner cannot close on the property until MHDC releases their rights to Common Ground C, which they are willing to do if they can retain a portion of Common Ground C. The transfer of property will require a boundary adjustment plat or preliminary/final plat, which will be forthcoming. The petitioner is requesting re-approval of the Final Amended PUD Plan to give them 180 days to get the plat approved, close on the property and prepare improvement plans.

### **Zoning Compliance Summary**

The 6-acre Dardenne Prairie Apartments site was rezoned from "New Development District" to C-3 PUD on June 21, 2023, via Ordinance #2254 with no notable conditions. The Final Plan was approved on September 20, 2023, via Ordinance #2271 and reapproved on September 18, 2024, via Ordinance #2316. The Area Plan and Final Plan were amended in January 2025 as noted the Project Background on the previous page. The approved Amended Area & Final Plan included six (6) 3-story apartment buildings containing 144 apartment units with 48 1-bedroom units, 84 2-bedroom units, and 12 3-bedroom units and 282 parking stalls resulting in a parking ratio of 1.96 stalls per unit. The plan also includes a pool, clubhouse, pickleball court, and a dog park.

On May 22, 2025, the Amended Final Plan (signed 12/19/24) and fee in the amount of \$874.88 were submitted for review and consideration by the Planning & Zoning Commission at their June 11<sup>th</sup> 2025

Meeting. Staff reviewed the Amended Final PUD Plans and no changes were made; the plans are the same as the Amended Final PUD Plan which was approved on January 22, 2025 via Ordinance #2340.

The following zoning regulation deviations were noted on the Approved Amended PUD Area Plan and Final Plan and also included on the resubmitted Final Plan under “EXEMPTIONS (WAIVER REQUIRED):

1. Reduce the 25’ front yard setback/buffer at the north property line. **The PUD approved +/- 12’ setback.**
2. Reduce the 15’ rear yard setback/buffer at the south property line. **The PUD approved a +/- 10’ setback.**
3. Exceed the maximum density of 12 units per acre. **The PUD approved a density of 22.7 units per acre.**
4. Reduce the 2-parking stalls per unit ratio. **The PUD approved parking ratio is 1.96**
5. Reduce the 40’ building separation (side to side). **The PUD plans approved a 31’ and 33’ separation and noted the building will be sprinkled and meet Fire Code.**
6. Reduce the minimum square footage of 1-bedroom units below 900 SF. **The PUD plans approved 895 SF 1-bedroom units.**
7. Reduce the required 15’ transition strip along the south property line. **The PUD plans approved a transition strip of 10’ at the southeast corner of the southernmost building.**

### **Recommended Action**

The petitioner is requesting reapproval of the 1<sup>st</sup> Amended Final Plan. Upon review, Staff found no deviations from the approved 1<sup>st</sup> Amended Final Plan or Area Plan. The Landscape Plan, Architectural Elevations and Photometric Plans meet the City’s applicable requirements. Staff recommends the Planning Commission pass a motion including its recommendation to the Board.

### **Next Steps**

Review and final consideration of the PUD Amended Final Plan by the Board.

### Enclosures

cc: Mayor Keith Widaman and Board of Aldermen  
Cathy Pratt, City Administrator  
Kim Clark, City Clerk  
John Young, City Attorney  
Matt Davidson, City Engineer



ENGINEERING  
 PLANNING  
 SURVEYING

RECEIVED

MAY 21 2025

City of Dardenne Prairie

DATE: 5-21-25

TO: Dardenne Prairie City Hall  
 Attn: Todd Streiler  
 Phone# 636-561-1718  
 2032 Hanley Road, Dardenne Prairie, MO 63368

RE: Amended Final PUD Plan Project No. 972290  
 BAX PROJECT NO. 24-19350

ATTACHED ARE:

QUANTITY	DESCRIPTION
20	Amended Final PUD Plans
1	Submittal Check for 874.87
1	Letter of request to extend timeline from owner
1	10 sets of 11x17 Final PUD Plans

THESE ARE TRANSMITTED FOR:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> As You Requested  | <input type="checkbox"/> For Your Information        |
| <input type="checkbox"/> Review and Approval          | <input type="checkbox"/> Address Verification        |
| <input type="checkbox"/> Grading Permit               | <input type="checkbox"/> Fire Hydrant Recommendation |
| <input type="checkbox"/> Final Approval/Required Sets | <input type="checkbox"/> Easement Requests           |

REMARKS: Resubmittal to extend the development an additional 180 days since its initial approval from the final Board of Alderman January 8, 2025 meeting under Ordinance # 2337.

SINCERELY,

  
 Steve Rolwes

PAID  
 MAY 22 2025  
 BY: CH # 27944 AS

# 874.87 REC # 25-000329

BAX ENGINEERING CO.  
 221 Point West Blvd.  
 St. Charles, MO 63301  
 (636) 928-5552  
 www.baxengineering.com

RECEIVED

MAY 21 2025

5/12/2025

ZM Management

1100 Woodchase Lane

Chesterfield MO 63017

City of Dardenne Prairie

Re: Extension of time for improvement plan submittal/review period for "Dardenne Prairie Apartments" Ordinance #2335.

Dear Mr. Streiler,

It has been brought to my attention that the time to submit/review improvement plans for "Dardenne Prairie Apartments" Ordinance #2335 will expire in July. Due to unforeseen circumstances, we would like to request a 6-month extension to submit the improvement plans. While working through the title we discovered that part of the approved project has MHDC Low Income Housing Tax Credit restrictions on it related to the existing 2 buildings. The current landowner has been working with MHDC to get the restrictions removed and is close to reaching a resolution. We plan to start moving forward with our improvement plans after MHDC provides confirmation that the restrictions will be removed.

Thank you for your time,



John McCarthy

PAID  
MAY 22 2025  
BY: CH#27944 AS

\$ 874.87 Rec# 25-000329

# PAYMENT RECEIPT

Receipt ID 25-000329



**RECEIVED FROM**

Bax Engineering Company  
Bax Engineering Company  
221 Point West BLVD  
St. Charles, MO 63301

**RECEIVED BY**

Dardenne Prairie  
Amy Schnell  
Dardenne Prairie, MO

FEE NAME	INVOICE ID	ACCOUNT NO.	AMOUNT
Misc. Development/Engineer (2)	25-000331	347	\$ 874.87
Miscellaneous			\$ 874.87
<b>TOTAL PAID</b>			<b>\$ 874.87</b>

**Paid Date**  
May 22, 2025

**Payment Method**  
Check  
# 27944

**Description**  
Amended final site plan  
"Dardenne Prairie  
Apartments" Site plan  
\$600 plus (7.33 acres @  
\$37.50) \$274.87= \$874.87



City Hall  
2032 Hanley Road  
Dardenne Prairie, MO 63368  
Phone 636.561.1718  
Fax 636.625.0077

**P.U.D. REQUEST – FINAL PLAN**  
CITY OF DARDENNE PRAIRIE, MISSOURI

[www.DardennePrairie.org](http://www.DardennePrairie.org)

APPLICANT: Bax Engineering  
Company Name  
Clifford L. Heitmann  
Printed Name, Title  
221 Point West Blvd  
Street Address  
St. Charles, MO 63301  
City/State/Zip Code  
636-928-5552 N/A  
Telephone Facsimile

STREET ADDRESS OF PROPERTY: Technology Drive (Loc. #T161800002)

OWNER (attach additional):	Contract Purchaser/Developer:
<u>Moline Management, LLC</u> Printed Name	<u>ZM Management</u> Company Name
<u>Charlie Moline (Member)</u> Printed Name	<u>John McCarthy (Associate)</u> Printed Name, Title
<u>205 W. Walnut St. Ste 200</u> Street Address	<u>1100 Woodchase Lane</u> Street Address
<u>Springfield, MO 65806</u> City/State/Zip Code	<u>Chesterfield, MO 63017</u> City/State/Zip Code
<u>907-321-4689</u> <u>N/A</u> Telephone              Facsimile	<u>314-469-0029</u> <u>N/A</u> Telephone              Facsimile

LEGAL DESCRIPTION OF PROPERTY (other than address) See Attached

EXISTING ZONING: C-3

PROPOSED USE: C-3

FINAL PLAN REVIEW FEE SUBMITTED: 874.88

PUD REQUEST - FINAL PLAN

1. The submitted final plan shall be prepared on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meet the requirements of Article IV "PUD Planned Unit Development"
2. A landscape plan on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meeting the requirements of Article IX "Landscaping and Screening" shall be included as part of the final plan submitted.
3. The final plan shall conform to the approved area plan, except that minor variations in layout may be permitted at the discretion of the City and without amendment of the approved area plan.

Note: All plans, architectural drawings, renderings or other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record of any approval.

\_\_\_\_ Two (2) copies of the plan are provided.  
*Additional copies for distribution to Planning and Zoning Commission and Board of Aldermen members will be requested upon review by the City Engineer.*

\_\_\_\_ Electronic and paper copy of legal description of the property are provided. Electronic files may be sent via email to the Planning Manager (tstreiler@dardenneprairie.org).


\_\_\_\_ The applicant is required to appear before the Planning and Zoning Commission and Board of Aldermen.

***Please Note:***

Prior to approval of a Building Permit, the appropriate Fire Protection District will need to review and approve the development. Any signage to be placed on the subject property requires a separate Sign Permit or Master Sign Plan. Any business occupying the site requires approval of a Business License.

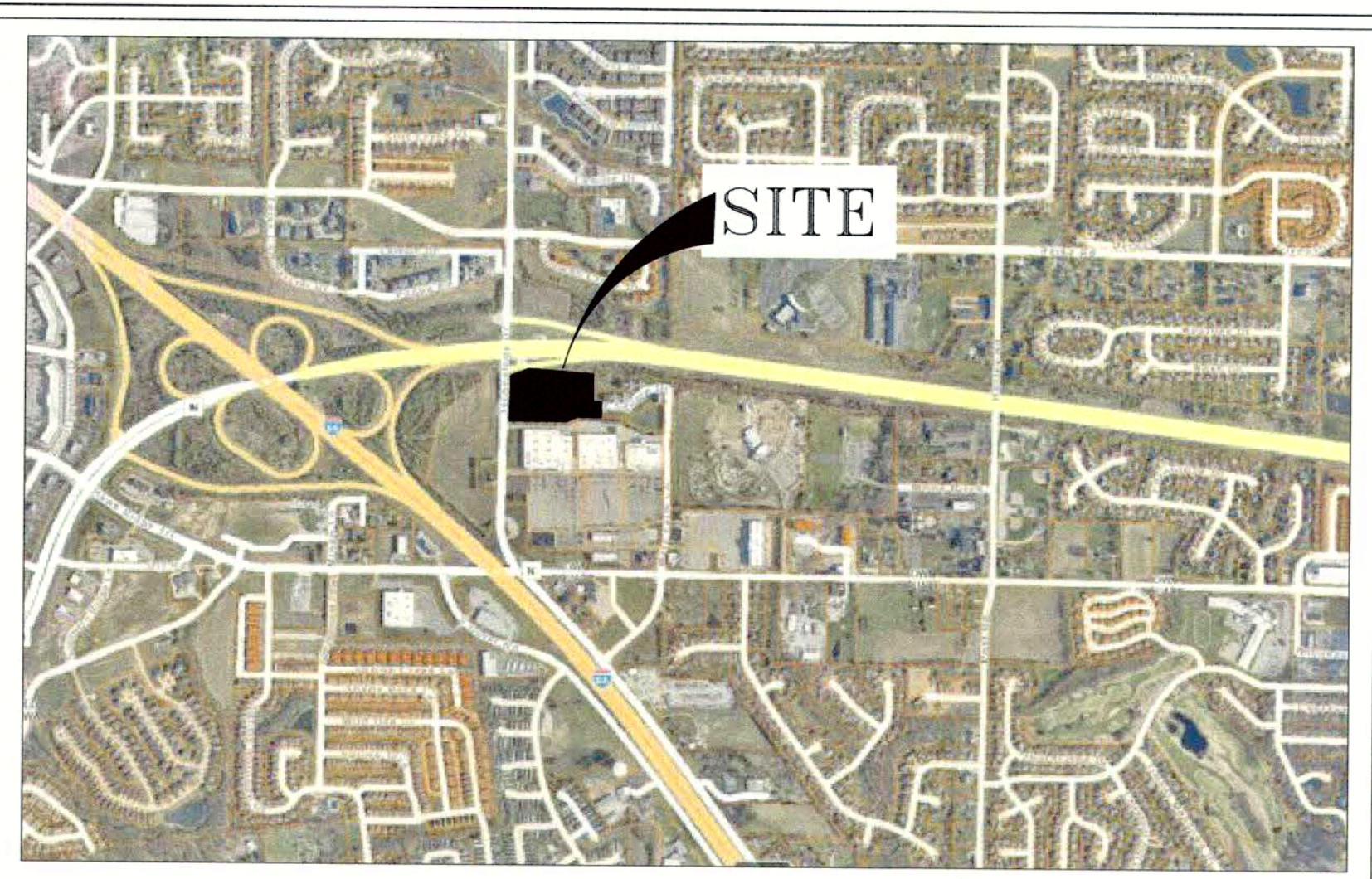
  
\_\_\_\_\_  
Applicant's Signature

12/16/24  
\_\_\_\_\_  
Date

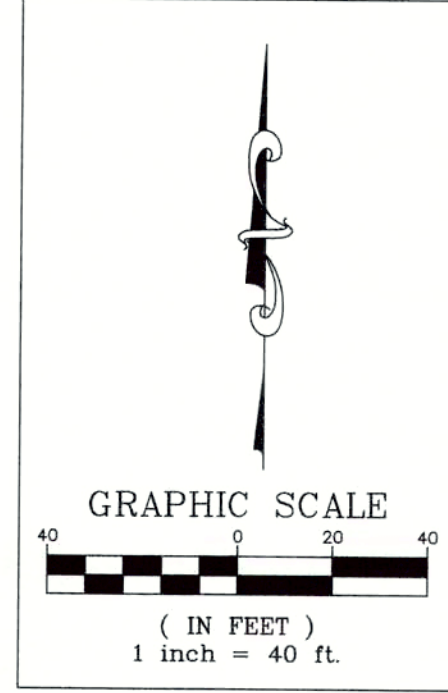
  
\_\_\_\_\_  
Owner's Signature

12/13/24  
\_\_\_\_\_  
Date

**NOTE: By affixing signatures to this application form, the Applicant and Owner hereby verify that: they have reviewed the applicable zoning regulations; they are familiar with the specific requirements relative to this application; and they take full responsibility for this application. The above signatures further indicate that the information provided on this form and on any additional data attached hereto is true, complete, and accurate.**



LOCATION MAP  
NO SCALE



# AMENDED PUD FINAL PLAN DARDENNE PRAIRIE APARTMENTS

THREE TRACTS OF LAND BEING ALL OF LOT 2 OF "TOWN SQUARE APARTMENTS LOT SPLIT", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 48 PAGE 116 OF THE ST. CHARLES COUNTY RECORDS; ALL OF ADJUSTED COMMON GROUND C OF "RESUBDIVISION OF LOTS A, B, 12, 13, AND 14, COMMON GROUND C AND COMMON GROUND D OF DARDENNE TOWN SQUARE", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 43 PAGE 77 OF SAID RECORDS; AND ALL OF A TRACT OF LAND CONVEYED TO MOLINE MANAGEMENT, LLC AND DESCRIBED AS EXCESS PARCEL NUMBER SL-0404 ACCORDING TO THE INSTRUMENT RECORDED AS DOCUMENT NUMBER 2023R-008715 OF SAID RECORDS, ALL IN FRACTIONAL SECTION 2, TOWNSHIP 46 NORTH, RANGE 2 EAST, CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MISSOURI.

## DEVELOPMENT NOTES: DARDENNE PRAIRIE PROJECT NO. 972290

- THIS PROPERTY IS REFERENCED AS THE FOLLOWING PARCEL I.D. NUMBERS OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE:  
PARCEL ID: 4-0033-C218-00-0002.000000 (5.57 ACRES)  
4-0033-C218-00-000C.000000 (1.76 ACRES)  
APARTMENT SITE WILL INCLUDE 6.34 ACRES OF DEVELOPMENT, THE REMAINING 0.99 ACRES WILL BE THE DETENTION BASIN
- EXISTING ZONING: C-3 PUD - MULTI-FAMILY
- SITE ADDRESS: TECHNOLOGY DRIVE, DARDENNE, MO 63368
- PROPOSED USE: APARTMENTS  
OWNERS: MOLINE MANAGEMENT LLC, 205 WEST WALNUT ST. SUITE 200, SPRINGFIELD, MO 65806  
TOWN SQUARE APARTMENTS LP, 8000 MARYLAND AVE., SUITE 1300, CLAYTON, MO 63105
- CONTRACT PURCHASER: ZM MANAGEMENT, 1100 WOODCHASE DRIVE, CHESTERFIELD, MO 63017
- BUILDING SETBACKS:  
FRONT YARD = 25 FEET (EXEMPTIONS APPROVED AT NORTH PROPERTY LINE UNDER PUD TO BE LESS THAN 25 FEET)  
SIDE YARD = 10 FEET  
REAR YARD = 15 FEET (EXEMPTIONS APPROVED AT SOUTH PROPERTY LINE UNDER PUD TO BE LESS THAN 15 FEET)
- PARKING REQUIREMENTS:  
CITY CODE 3 SPACES PER UNIT  
144 UNITS X 3 = 432 SPACES  
PUD EXEMPTION APPROVAL ALLOWED FOR 1.64 PARKING SPACES/UNIT.  
THIS SUBMITTAL HAS A TOTAL ONSITE PARKING COUNT OF 282 SPACES AT 1.96 SPACES/UNIT.  
TOTAL 1 BED UNITS 48  
TOTAL 2 BED UNITS 84  
TOTAL 3 BED UNITS 12  
TOTAL UNITS ONSITE 144  
PUD EXEMPTION ALLOWED FOR A DENSITY GREATER THAN 12 UNITS/ACRE (25.6 UNITS/ACRE)  
THIS SUBMITTAL HAS A TOTAL DENSITY OF 22.7 UNITS/ACRE

### STATEMENT OF AREA PLAN APPROVAL

ACCORDING TO SECTION 405.260 F. IF THE AREA PLAN IS APPROVED BY THE BOARD OF ALDERMEN, THE APPLICANT SHALL REVIEW THE AREA PLAN IN ITS APPROVED FORM, THE APPLICANT AND THE OWNER(S) OF RECORD SHALL THEN SIGN A STATEMENT THAT THE APPROVED AREA PLAN SHALL BE BINDING UPON THE APPLICANT AND THE OWNER(S) OF RECORD AND UPON THEIR HEIRS, SUCCESSORS AND ASSIGNS. THE AREA PLAN SHALL NOT BE OFFICIALLY APPROVED NOR MAY THE APPLICANT SUBMIT A FINAL PLAN FOR THE LOT OR ANY PART THEREOF UNTIL SAID STATEMENT HAS BEEN SIGNED AS REQUIRED HEREIN. THE FOREGOING APPROVAL AND SIGNING SHALL CONSTITUTE OFFICIAL APPROVAL OF THE PUD DESIGNATION FOR THE SUBJECT TRACT. REZONING MAY BE MADE CONTINGENT UPON THE PUD STATEMENT BEING PROPERLY SIGNED.

### EXEMPTIONS (WAIVER REQUIRED)

- PROPOSED SETBACK ON NORTH PROPERTY IS LESS THAN 25' (CODE SECTION 405.195 E4) (PLAT BOOK 42 PAGE 305).
- PROPOSED SETBACK ON SOUTH PROPERTY LINE IS LESS THAN 15 FEET. A PROPOSED 10 FOOT SETBACK WOULD BE PLACED ALONG THE SOUTH PROPERTY LINE (CODE SECTION 405.195 E4).
- NET DENSITY (DWELLING UNITS PER ACRE) IS GREATER THAN 12 (CODE SECTION 405.175 G5).
- PARKING PROVIDED IS LESS THAN REQUIRED (CODE SECTION 405.635).
- PROPOSED BUILDING SEPARATION IS LESS THAN 40 FEET (CODE SECTION 405.175 H 2B) UNITS WILL BE SPRINKLERED AND ARE ALLOWED TO BE CLOSER BASED ON FIRE RATINGS/CODES.
- 1 BEDROOM UNITS PROPOSED WILL BE 895 SQUARE FEET. CITY CODE HAS A MINIMUM OF 900 SQUARE FOOT PER UNIT (CODE SECTION 405.175 G4).
- PROPOSED TRANSITION STRIP ALONG SOUTH PROPERTY LINE IS LESS THAN 15 FEET. A PROPOSED 10 FOOT BUFFER IS PROPOSED ALONG THE SOUTH PROPERTY LINE. (CODE SECTION 405.555 B1).

### LOT AREA BREAKOUT

- BUILDINGS - 1.58 ACRES
- PAVEMENT - 3.29 ACRES
- OPEN SPACE - 2.46 ACRES
- TOTAL DEV - 7.33 ACRES

### SHEET INDEX

- C-1 AREA PLAN SITE PLAN
- C-2 AREA PLAN GRADING PLAN
- C-3 EXISTING SITE CONDITIONS
- C-4 DETAILS
- C-5 PRELIMINARY STORMWATER MANAGEMENT PLAN

### UNIT BREAKDOWN

- 1 BEDROOMS - 48 UNITS
- 2 BEDROOMS - 84 UNITS
- 3 BEDROOMS - 12 UNITS

AMENDED PUD FINAL PLAN  
**DARDENNE PRAIRIE APARTMENTS**  
 TECHNOLOGY DRIVE  
 DARDENNE PRAIRIE, 63368  
 PREPARED FOR:  
 ZM MANAGEMENT  
 1100 WOODCHASE DRIVE, LANE  
 CHESTERFIELD, MO 63017  
 314-479-2897



**BAX**  
ENGINEERING  
PLANNING  
SURVEYING

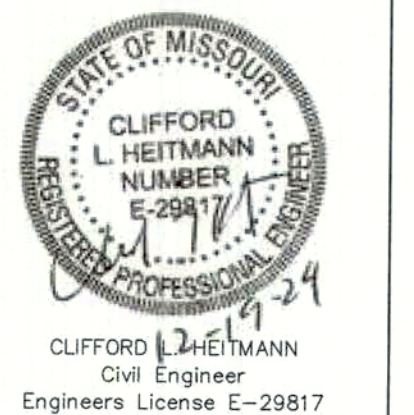
221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

Bax Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #320144

### REVISIONS

NO.	DATE	DESCRIPTION
12-19-24		SITE LIGHTING

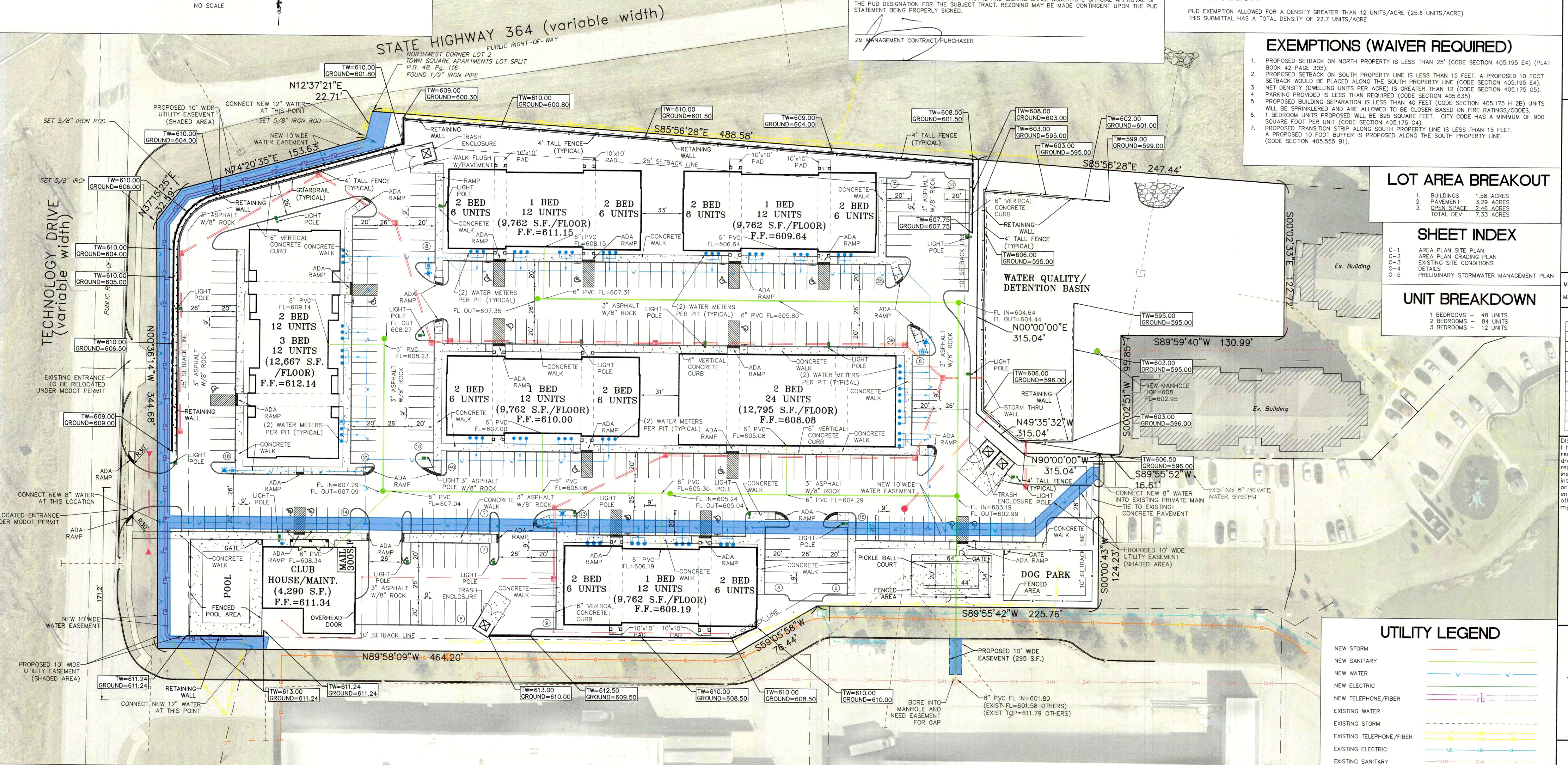
DISCLAIMER OF RESPONSIBILITY  
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.



11-22-24  
DATE  
24-19350  
PROJECT NUMBER  
19350PreFinalareaplan  
FILE NAME  
SWR  
DRAWN  
SWR CLH  
DESIGNED CHECKED

### AREA PLAN SITE PLAN

**C-1**



### FLOOD NOTE

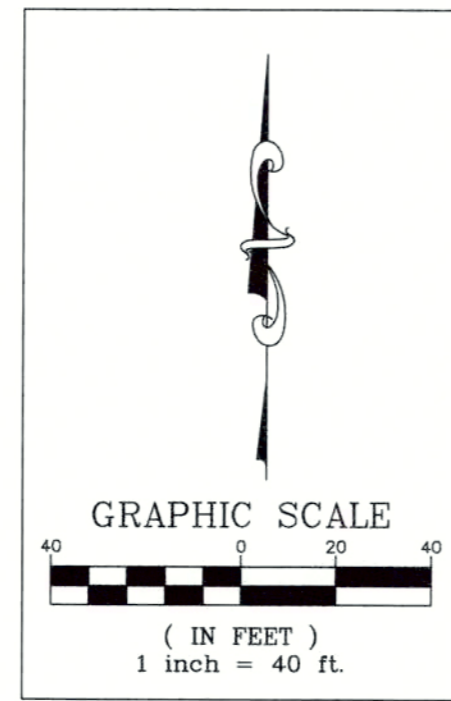
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI, DARDENNE PRAIRIE (COMMUNITY - PANEL NUMBER 290899 0220 G, DATED JANUARY 20, 2016), THIS TRACT LIES WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TOPO AND BOUNDARY SHOWN HAVE BEEN PROVIDED BY OTHERS AND USED IN THIS LAYOUT. BAX ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR OMISSION OF FIELD DATA THAT MAY EXIST AT THIS SITE.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

# AMENDED PUD FINAL PLAN DARDENNE PRAIRIE APARTMENTS

THREE TRACTS OF LAND BEING ALL OF LOT 2 OF "TOWN SQUARE APARTMENTS LOT SPLIT", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 48 PAGE 116 OF THE ST. CHARLES COUNTY RECORDS; ALL OF ADJUSTED COMMON GROUND C OF "RESUBDIVISION OF LOTS A, B, 12, 13, AND 14, COMMON GROUND C AND COMMON GROUND D OF DARDENNE TOWN SQUARE", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 43 PAGE 77 OF SAID RECORDS; AND ALL OF A TRACT OF LAND CONVEYED TO MOLINE MANAGEMENT, LLC AND DESCRIBED AS EXCESS PARCEL NUMBER SL-0404 ACCORDING TO THE INSTRUMENT RECORDED AS DOCUMENT NUMBER 2023R-008715 OF SAID RECORDS, ALL IN FRACTIONAL SECTION 2, TOWNSHIP 46 NORTH, RANGE 2 EAST, CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MISSOURI.



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PUD EXEMPTION APPROVAL ALLOWED FOR 1.64 PARKING SPACES/UNIT.  
THIS SUBMITTAL HAS A TOTAL ONSITE PARKING COUNT OF 282 SPACES AT 1.96 SPACES/UNIT.  
  
TOTAL 1 BED UNITS 48  
TOTAL 2 BED UNITS 84  
TOTAL 3 BED UNITS 12  
TOTAL UNITS ONSITE 144  
  
PUD EXEMPTION ALLOWED FOR A DENSITY GREATER THAN 12 UNITS/ACRE (25.6 UNITS/ACRE)  
THIS SUBMITTAL HAS A TOTAL DENSITY OF 22.7 UNITS/ACRE

AMENDED PUD FINAL PLAN  
**DARDENNE PRAIRIE APARTMENTS**  
 TECHNOLOGY DRIVE  
 DARDENNE PRAIRIE, 63368  
 PREPARED FOR:  
 ZM MANAGEMENT  
 1100 WOODCHASE DRIVE  
 CHESTERFIELD, MO 63071  
 314-479-2887



**ENGINEERING  
PLANNING  
SURVEYING**

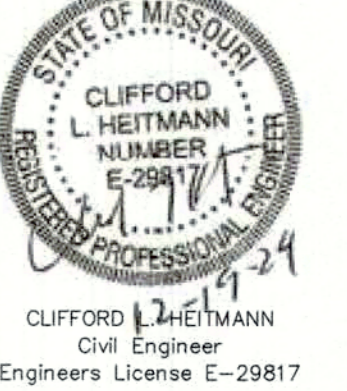
21 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

Box Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #000144

**REVISIONS**

NO.	DATE	DESCRIPTION
12-18-24		SITE LIGHTING

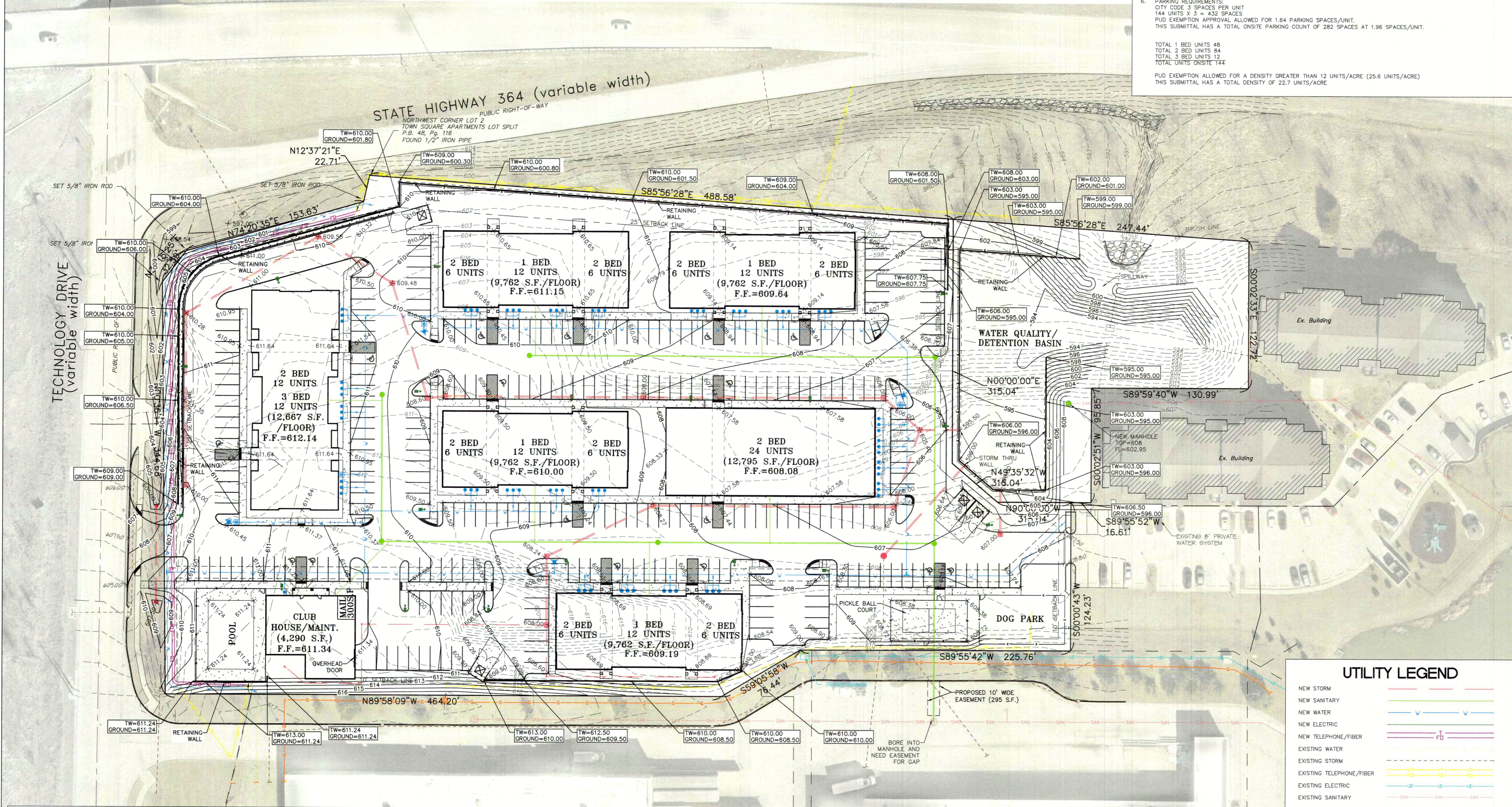
**DISCLAIMER OF RESPONSIBILITY**  
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.



11-22-24  
DATE  
24-19350  
PROJECT NUMBER  
19350preFinalareaplan  
FILE NAME  
DRAWN  
SWR  
CLH  
DESIGNED CHECKED

**AREA PLAN  
GRADING PLAN**

**C-2**



**FLOOD NOTE**

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI, DARDENNE PRAIRIE (COMMUNITY - PANEL NUMBER 290899 0220 C, DATED JANUARY 20, 2016), THIS TRACT LIES WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

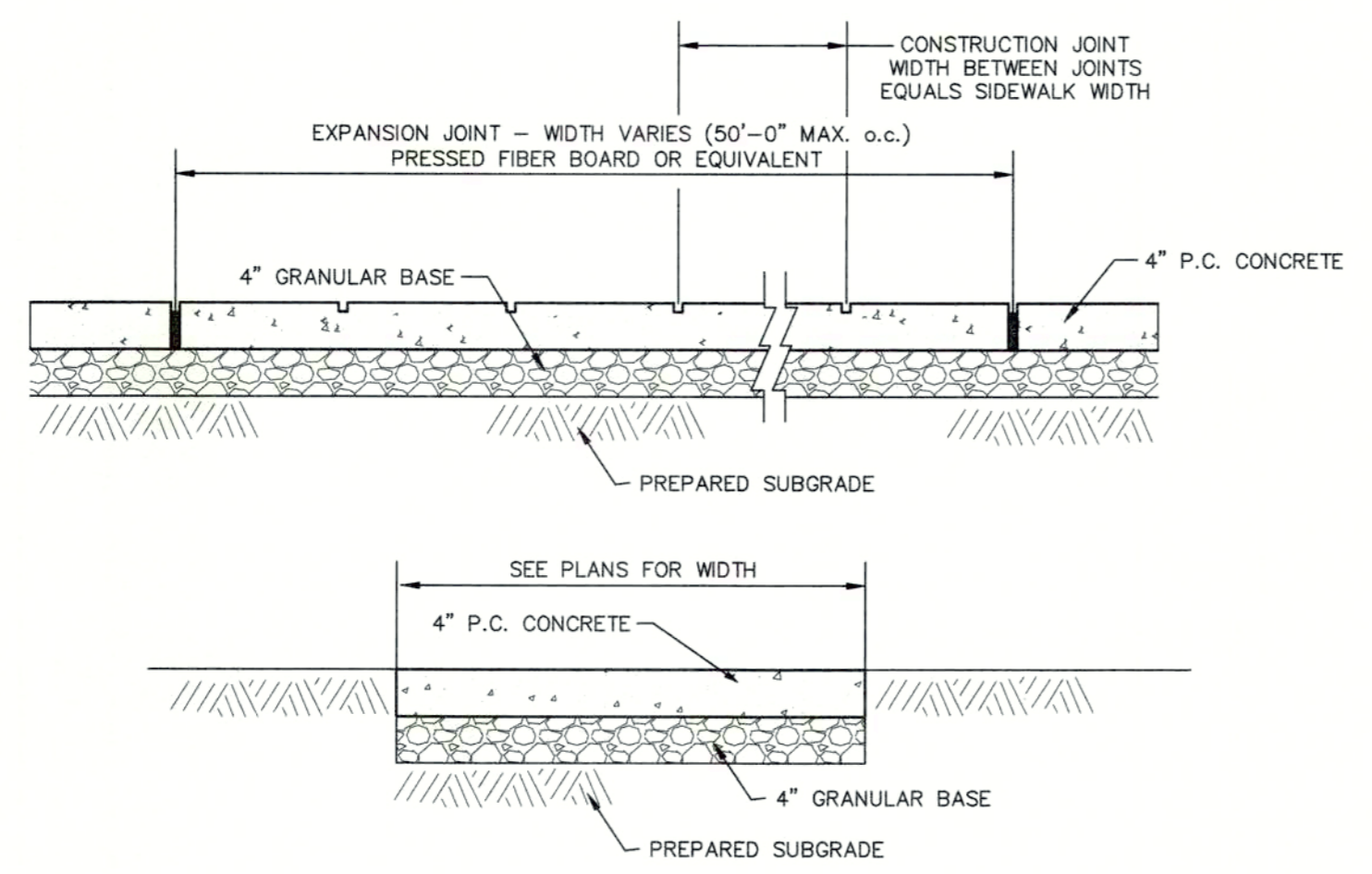
TOPO AND BOUNDARY SHOWN HAVE BEEN PROVIDED BY OTHERS AND USED IN THIS LAYOUT. BOX ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR OMISSION OF FIELD DATA THAT MAY EXIST AT THIS SITE.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

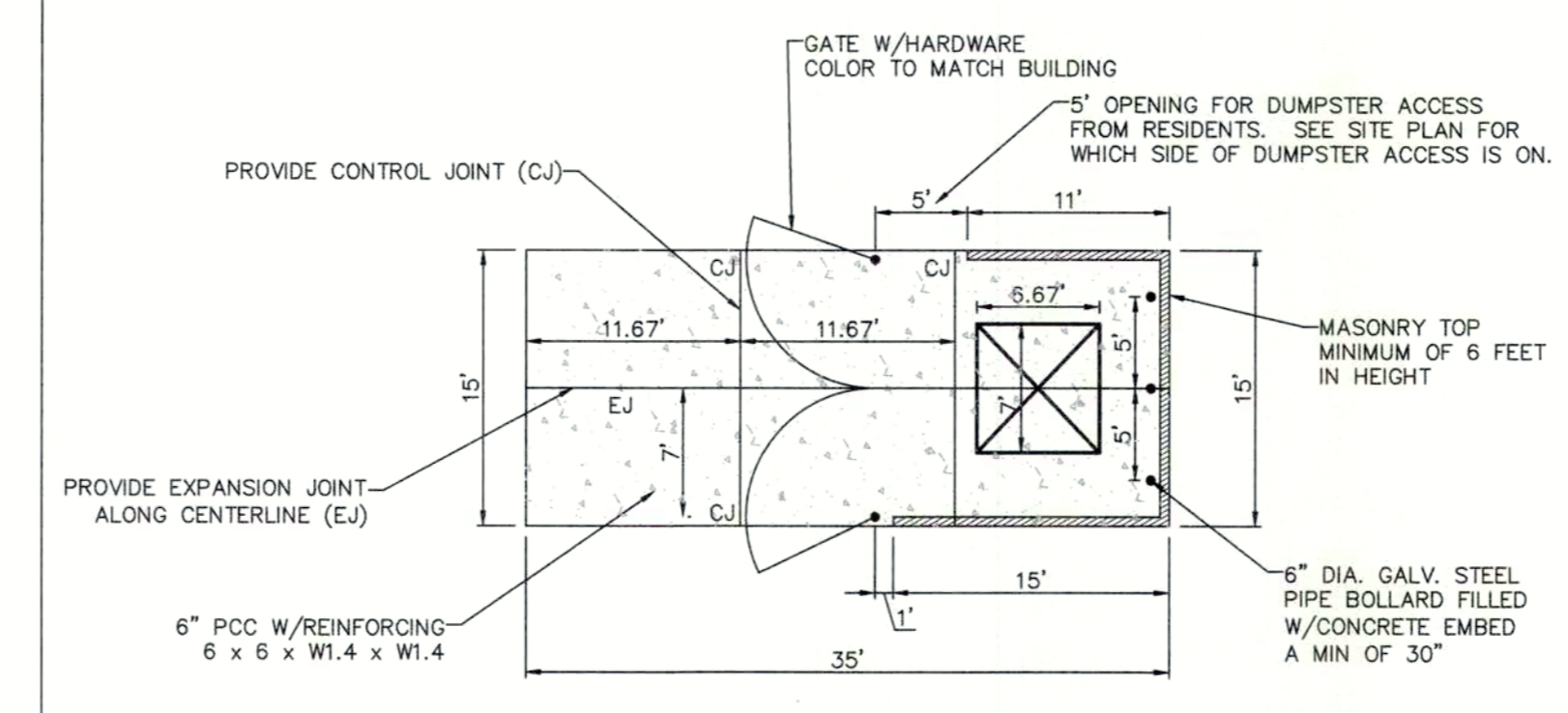
**UTILITY LEGEND**

NEW STORM	— (Red dashed line)
NEW SANITARY	— (Green dashed line)
NEW WATER	— (Blue dashed line)
NEW ELECTRIC	— (Black dashed line)
NEW TELEPHONE/FIBER	— (Purple dashed line)
EXISTING WATER	— (Blue solid line)
EXISTING STORM	— (Red solid line)
EXISTING TELEPHONE/FIBER	— (Purple solid line)
EXISTING ELECTRIC	— (Black solid line)
EXISTING SANITARY	— (Green solid line)

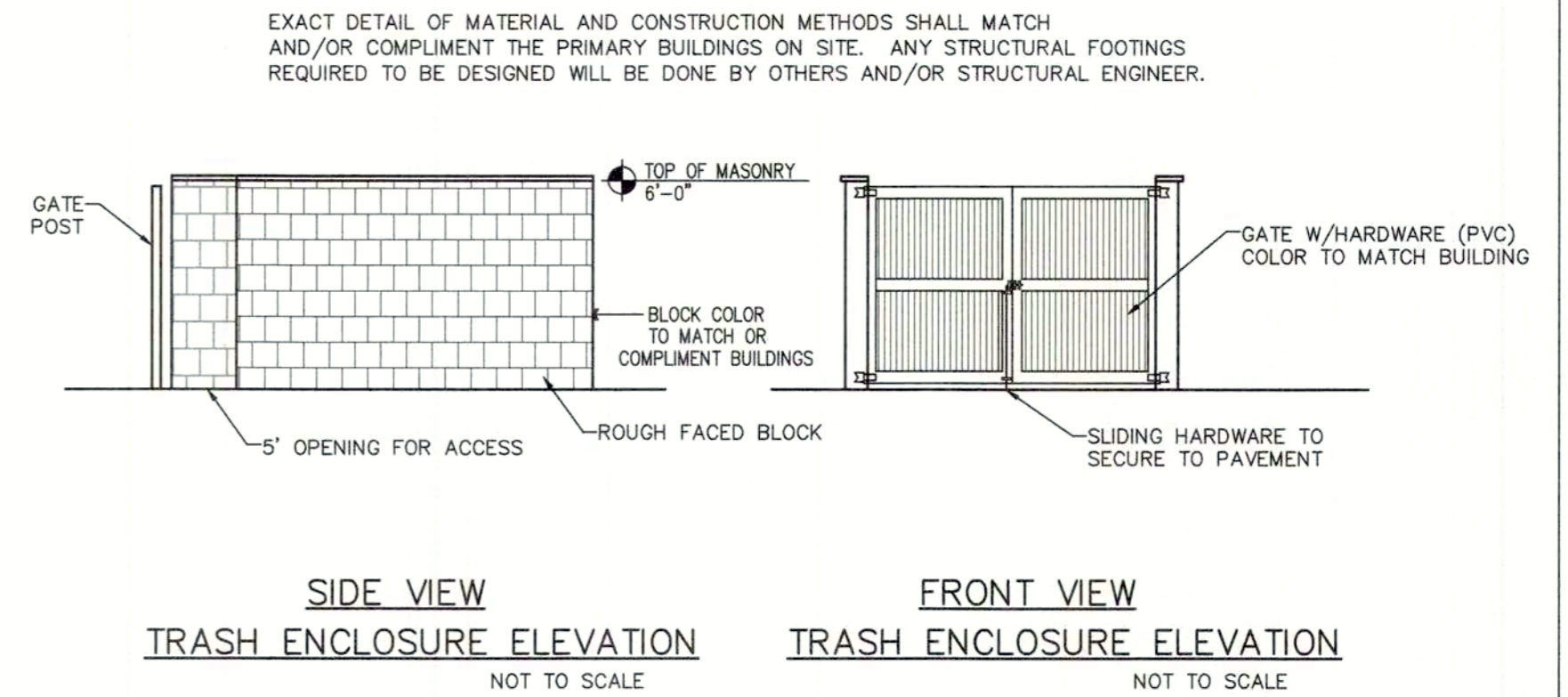




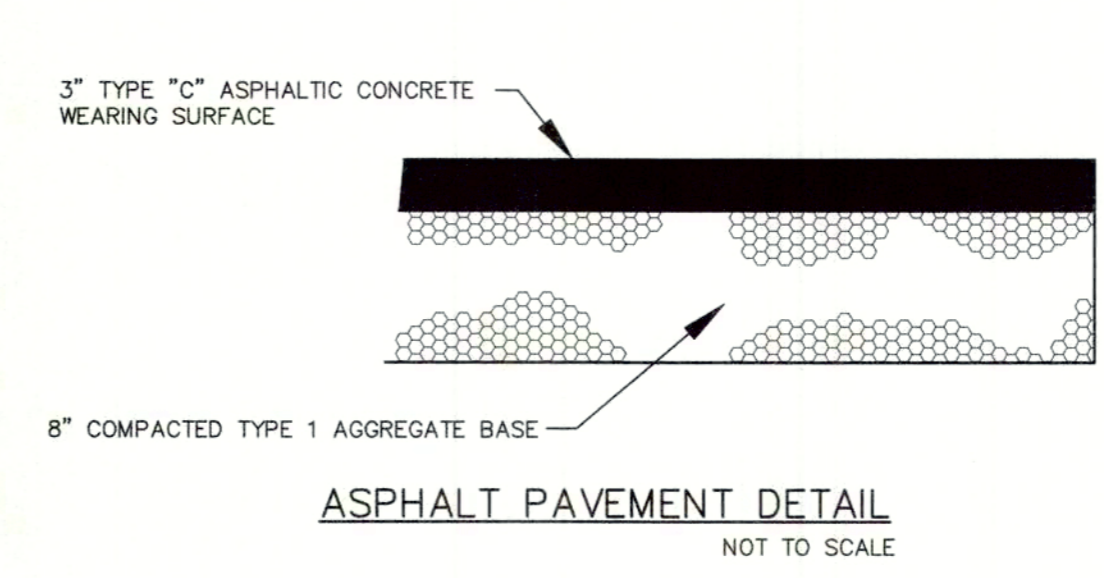
CONCRETE SIDEWALK WITH BASE DETAIL  
NOT TO SCALE



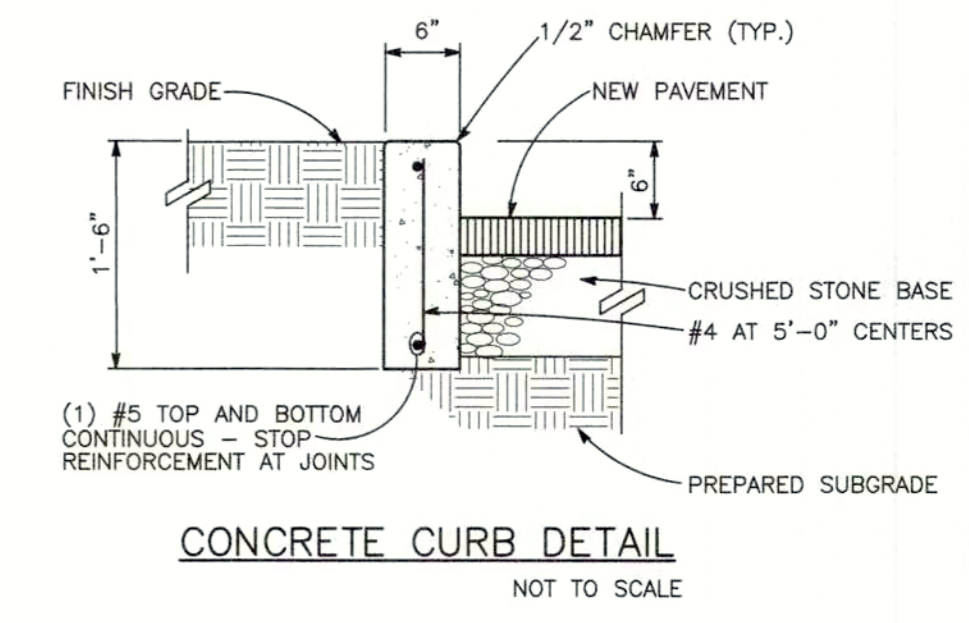
TRASH PAD  
CONCRETE PAVEMENT DETAIL  
TYPICAL SECTION  
NOT TO SCALE



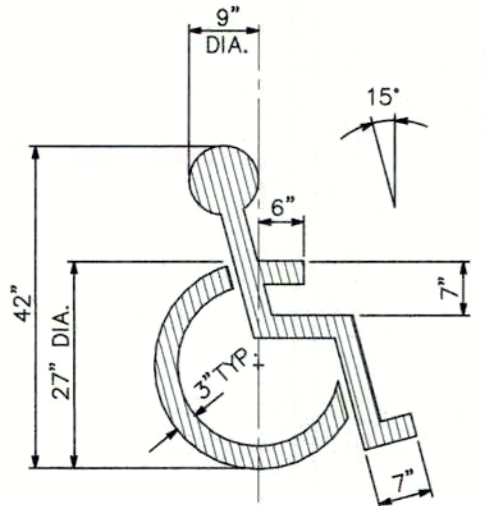
SIDE VIEW  
FRONT VIEW  
TRASH ENCLOSURE ELEVATION  
NOT TO SCALE



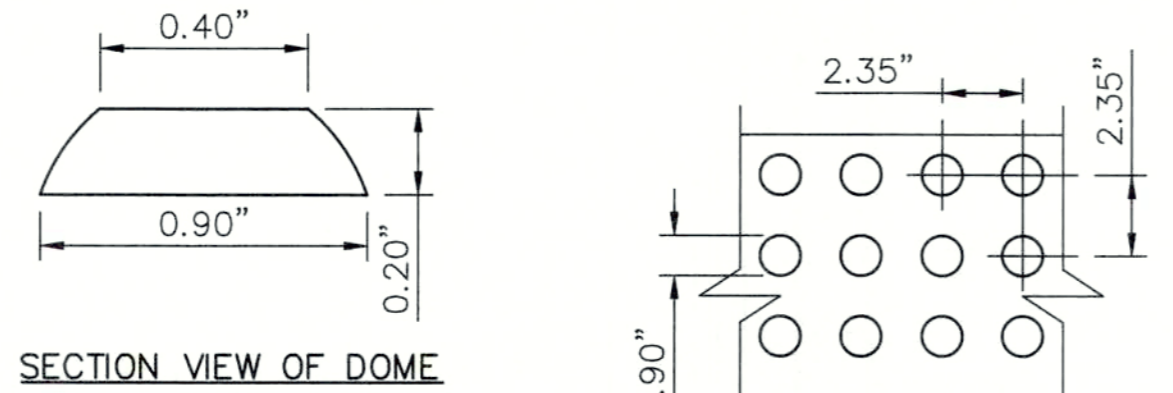
ASPHALT PAVEMENT DETAIL  
NOT TO SCALE



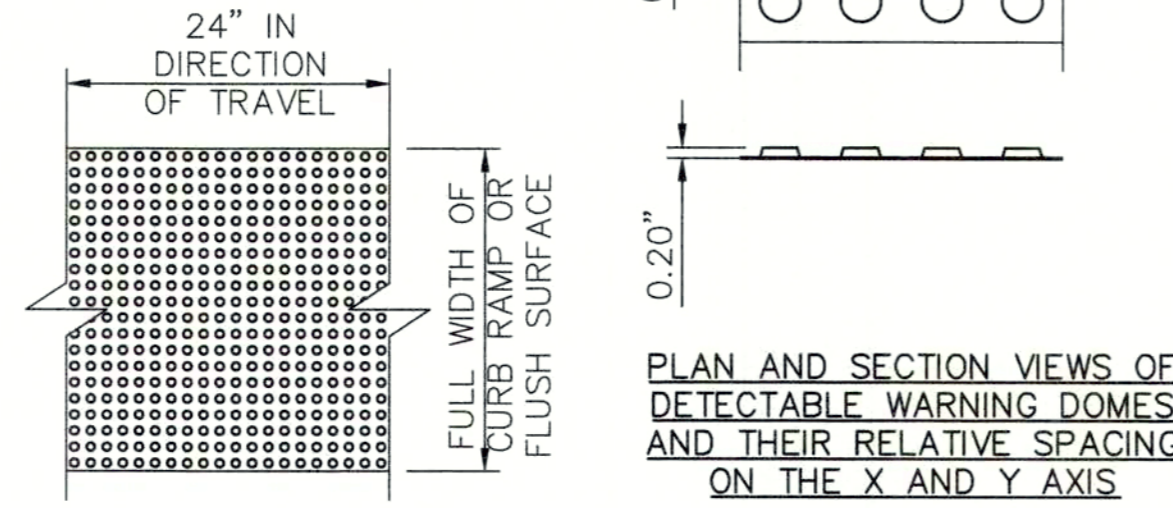
CONCRETE CURB DETAIL  
NOT TO SCALE



PAINTED HANDICAPPED  
PARKING SYMBOL  
NOT TO SCALE



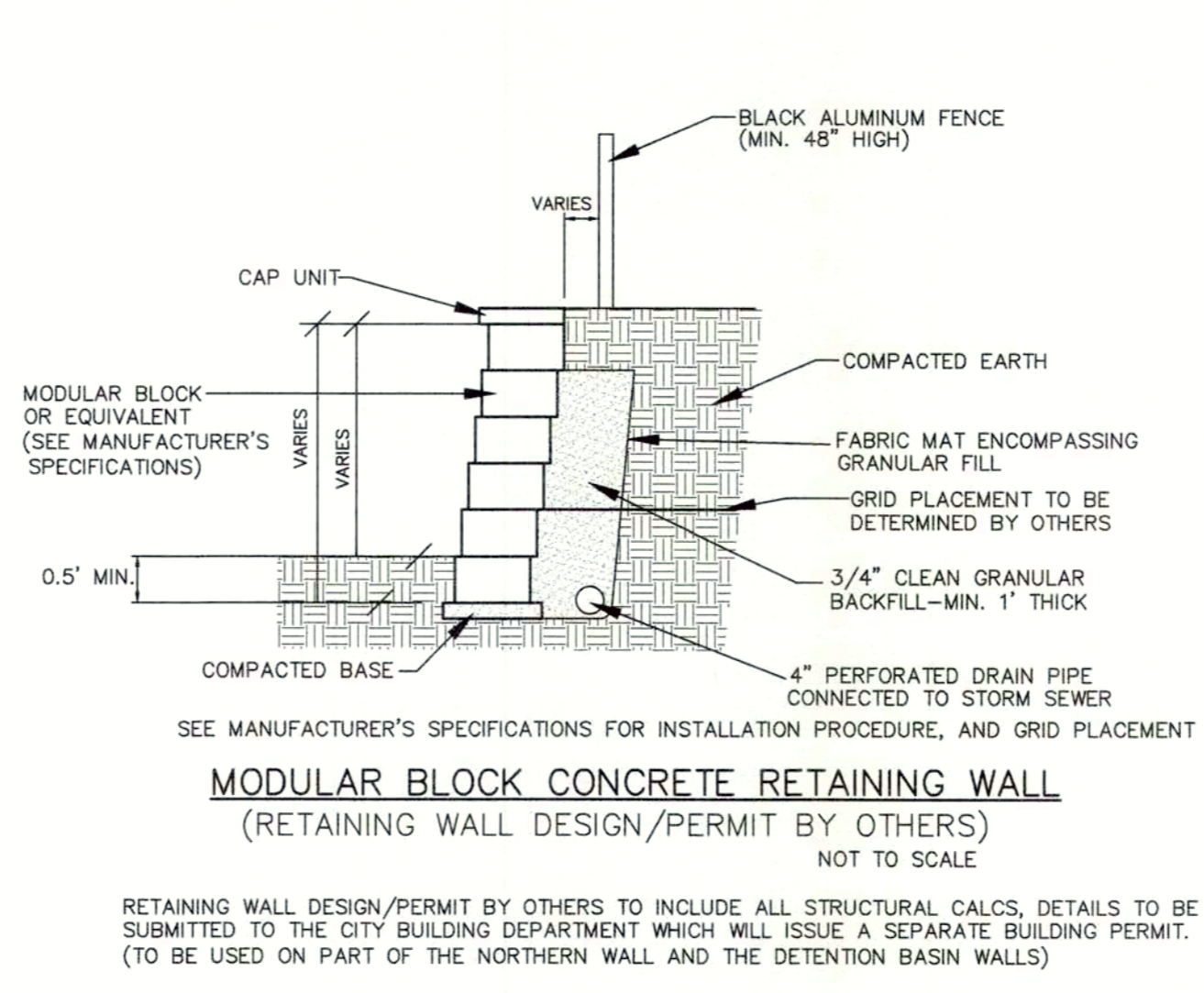
SECTION VIEW OF DOME



PLAN AND SECTION VIEWS OF  
DETECTABLE WARNING DOMES  
AND THEIR RELATIVE SPACING  
ON THE X AND Y AXIS

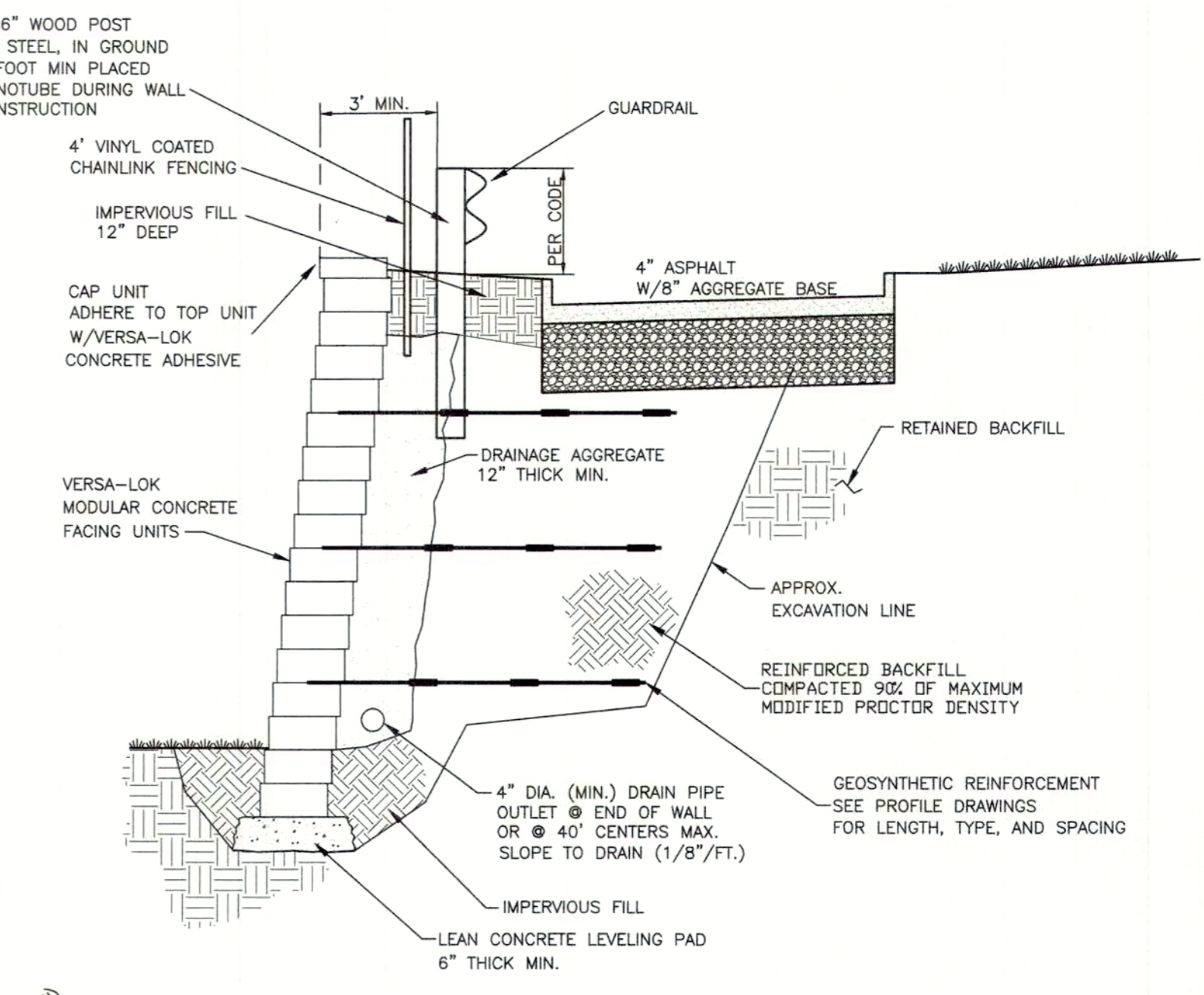
PLAN VIEW OF A DETECTABLE WARNING SURFACE  
SHOWING DOMES ALIGNED IN ROWS, NOT SKEWED  
DIAGONALLY.

TYPICAL DETAIL OF DETECTABLE WARNING SURFACE  
NOT TO SCALE



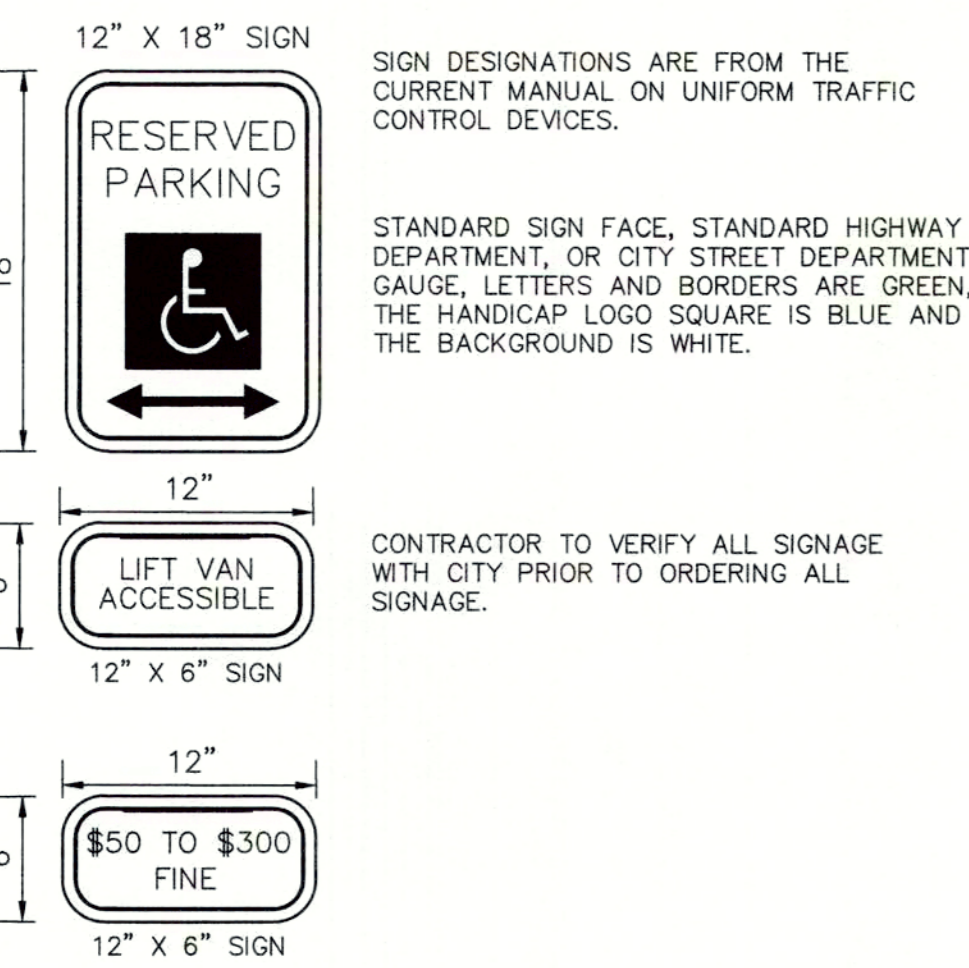
MODULAR BLOCK CONCRETE RETAINING WALL  
(RETAINING WALL DESIGN/PERMIT BY OTHERS)  
NOT TO SCALE

RETAINING WALL DESIGN/PERMIT BY OTHERS TO INCLUDE ALL STRUCTURAL CALCS, DETAILS TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT WHICH WILL ISSUE A SEPARATE BUILDING PERMIT. (TO BE USED ON PART OF THE NORTHERN WALL AND THE DETENTION BASIN WALLS)

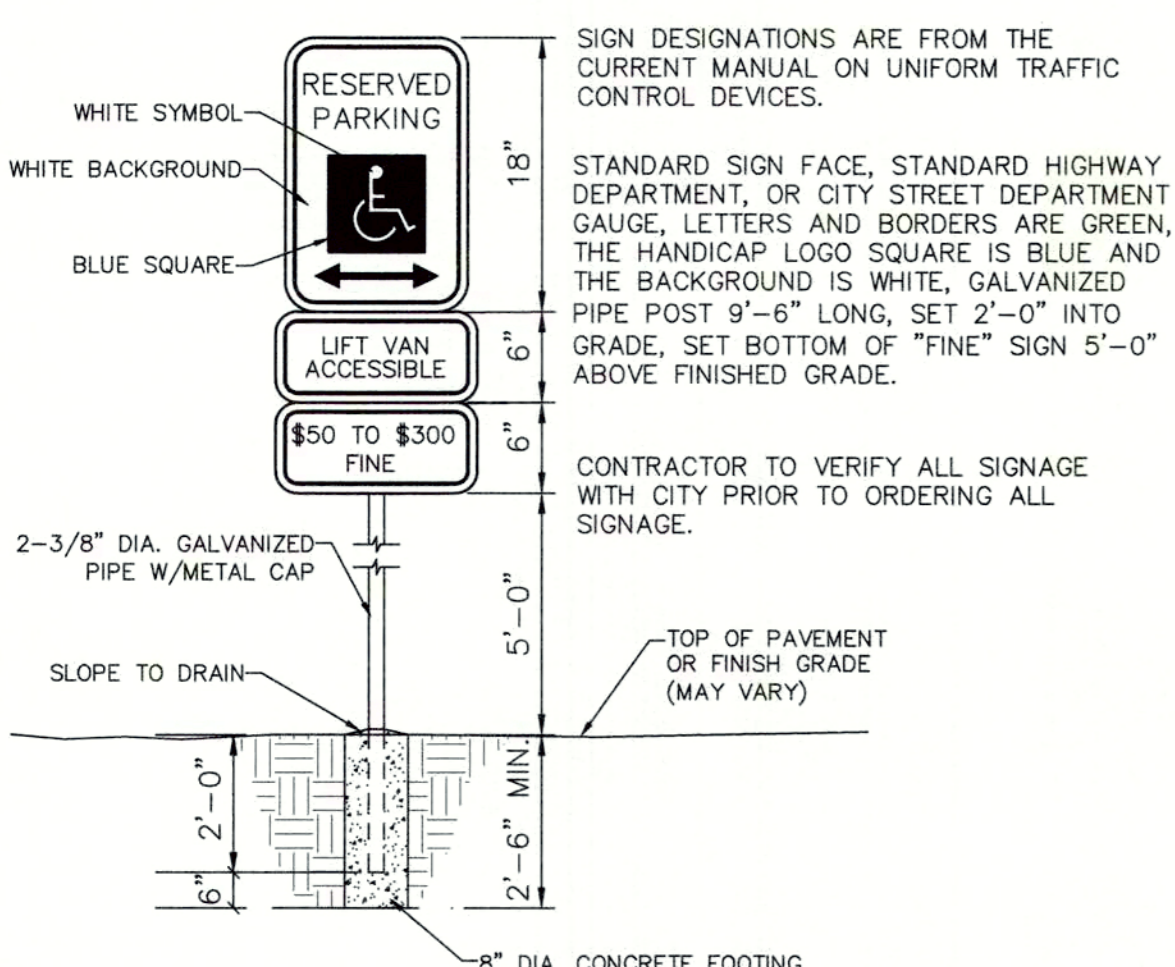


TYPICAL SECTION-REINFORCED RETAINING WALL  
MODULAR CONCRETE UNIT  
NOT TO SCALE

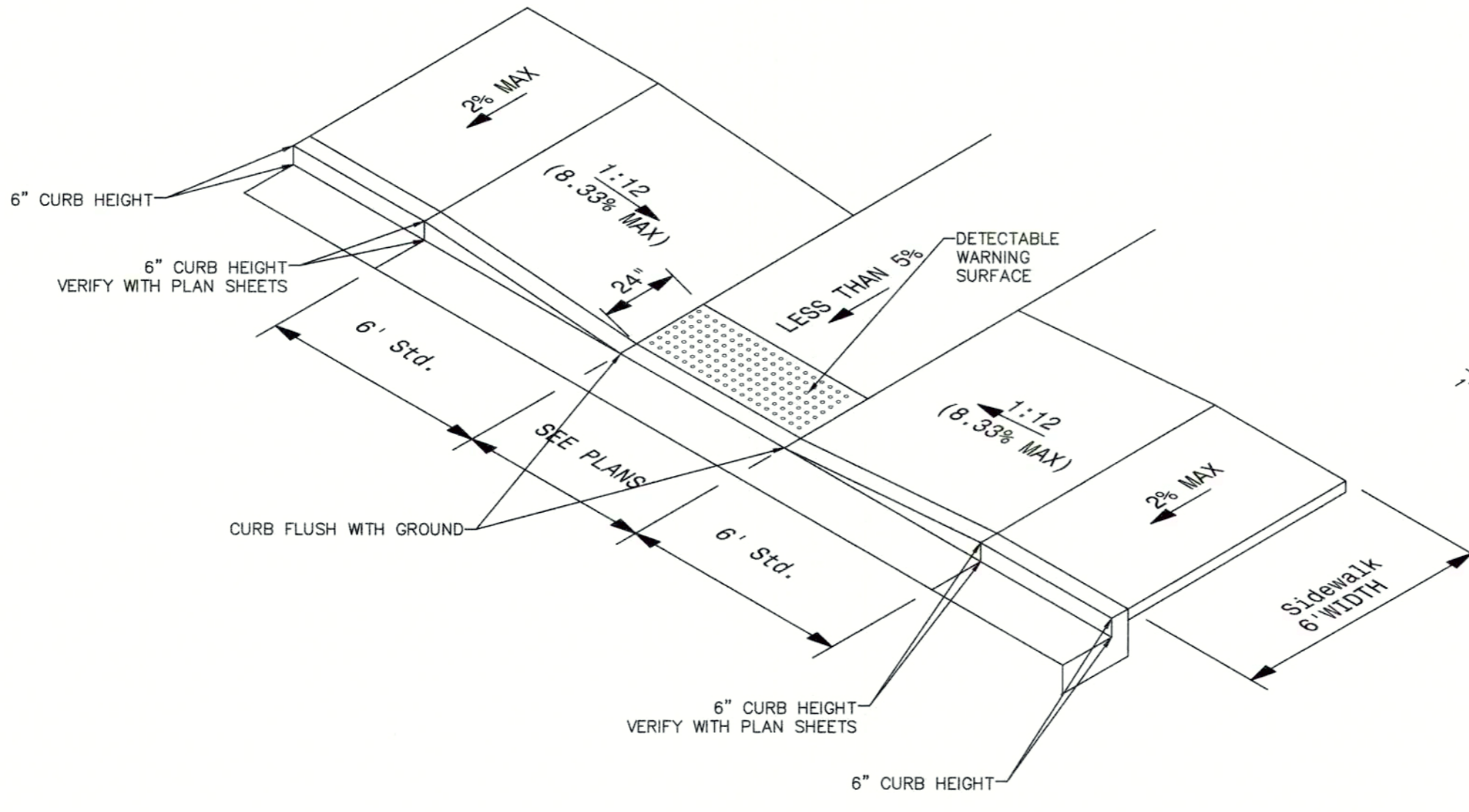
RETAINING WALL DESIGN/PERMIT BY OTHERS TO INCLUDE ALL STRUCTURAL CALCS, DETAILS TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT WHICH WILL ISSUE A SEPARATE BUILDING PERMIT. (TO BE USED ON THE WESTERN AND PART OF THE NORTHERN WALL AT PARKING LOT)



ACCESSIBLE PARKING SIGN  
NOT TO SCALE

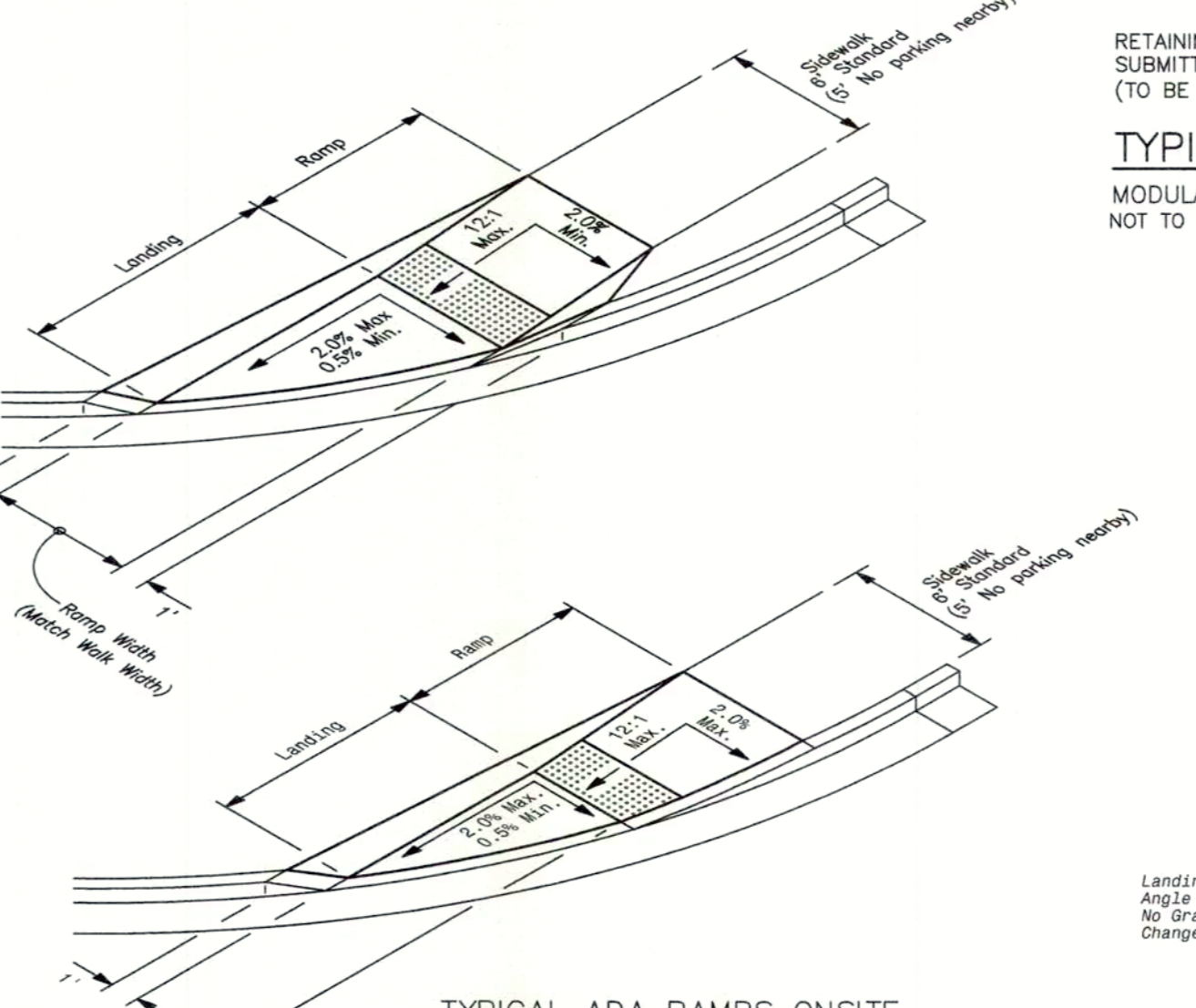


ACCESSIBLE PARKING SIGN  
NOT TO SCALE



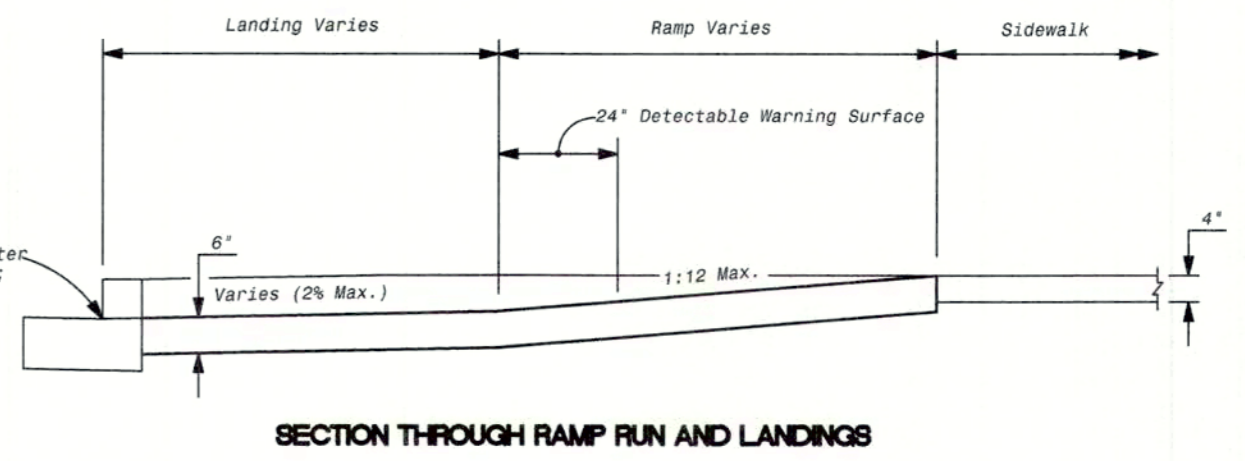
TYPICAL ADA RAMP AT ENTRY TO APARTMENTS  
NOT TO SCALE

1. AT NO TIME CAN A RAMP EXCEED A 1:12 OR 8.33% SLOPE.
2. CONTRACTOR TO VERIFY GRADES AND SLOPES PRIOR TO INSTALLING CONCRETE



TYPICAL ADA RAMP ON SITE  
NOT TO SCALE

1. AT NO TIME CAN A RAMP EXCEED A 1:12 OR 8.33% SLOPE.
2. CONTRACTOR TO VERIFY GRADES AND SLOPES PRIOR TO INSTALLING CONCRETE
3. ADDITIONAL DETAILS TO BE PROVIDED DURING IMPROVEMENT PLAN PERMIT REVIEW



SECTION THROUGH RAMP RUN AND LANDINGS

AMENDED PUD FINAL PLAN  
**DARDENNE PRAIRIE APARTMENTS**  
TECHNOLOGY DRIVE  
DARDENNE PRAIRIE, 63368  
PREPARED FOR:  
ZM MANAGEMENT  
1100 W. CENTERFIELD, MO 63017  
314-475-2887



**ENGINEERING  
PLANNING  
SURVEYING**

221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

Box Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #000144

REVISIONS

NO.	DATE	DESCRIPTION

DISCLAIMER OF RESPONSIBILITY  
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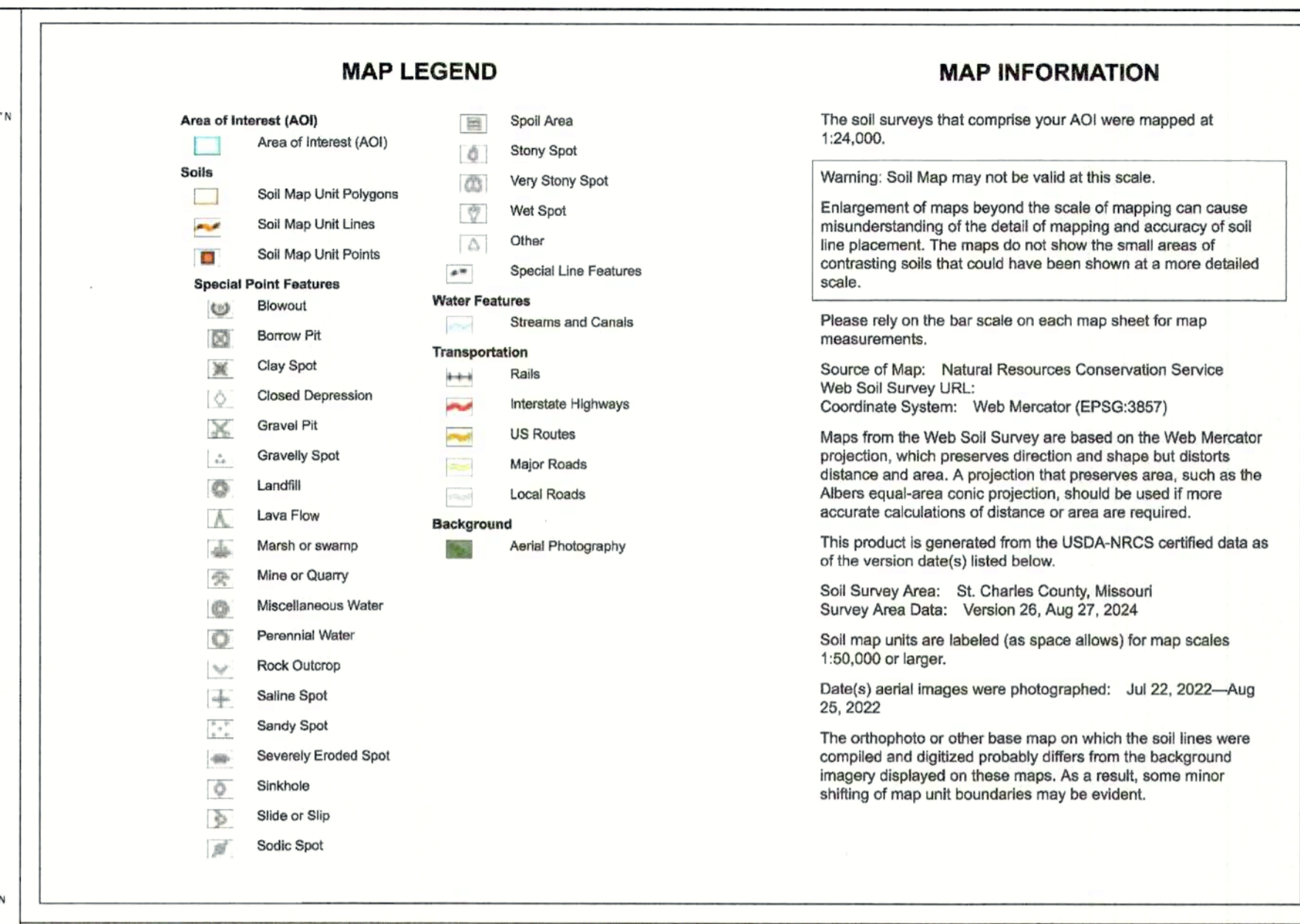
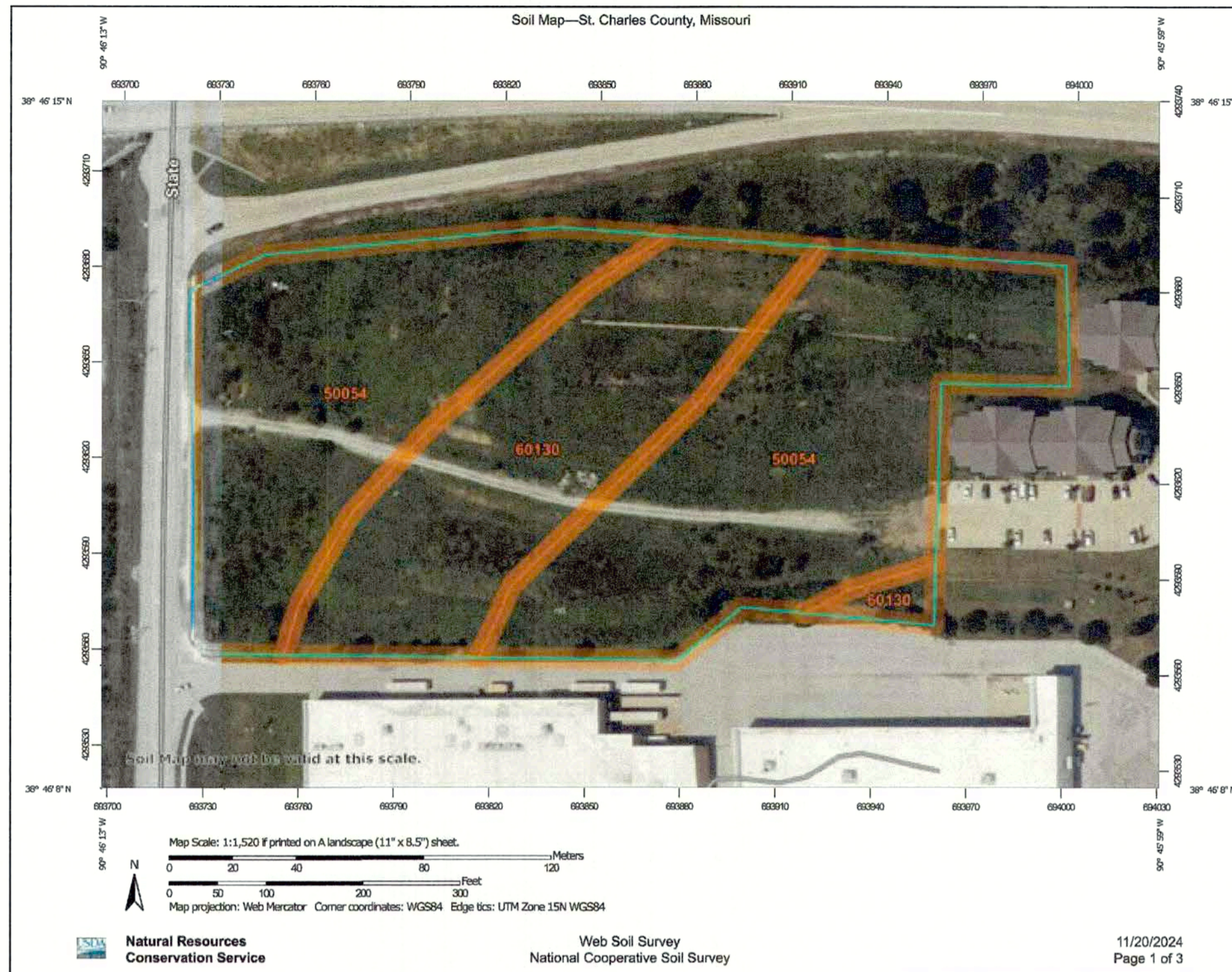


CLIFFORD L. HEITMANN  
Civil Engineer  
Engineers License E-29817

11-22-24  
DATE  
24-19350  
PROJECT NUMBER  
19350preFinalareaplan  
FILE NAME  
SWR  
DRAWN  
SWR CLH  
DESIGNED CHECKED

DETAILS

C-4



**Map Unit Legend**

Map Unit Name	Acres in AOI	Percent of AOI
50054	5.4	69.9%
60130	2.3	30.1%
Totals for Area of Interest	7.7	100.0%

**PRELIMINARY STORM WATER MANAGEMENT PLAN**

**EXISTING CONDITIONS:**

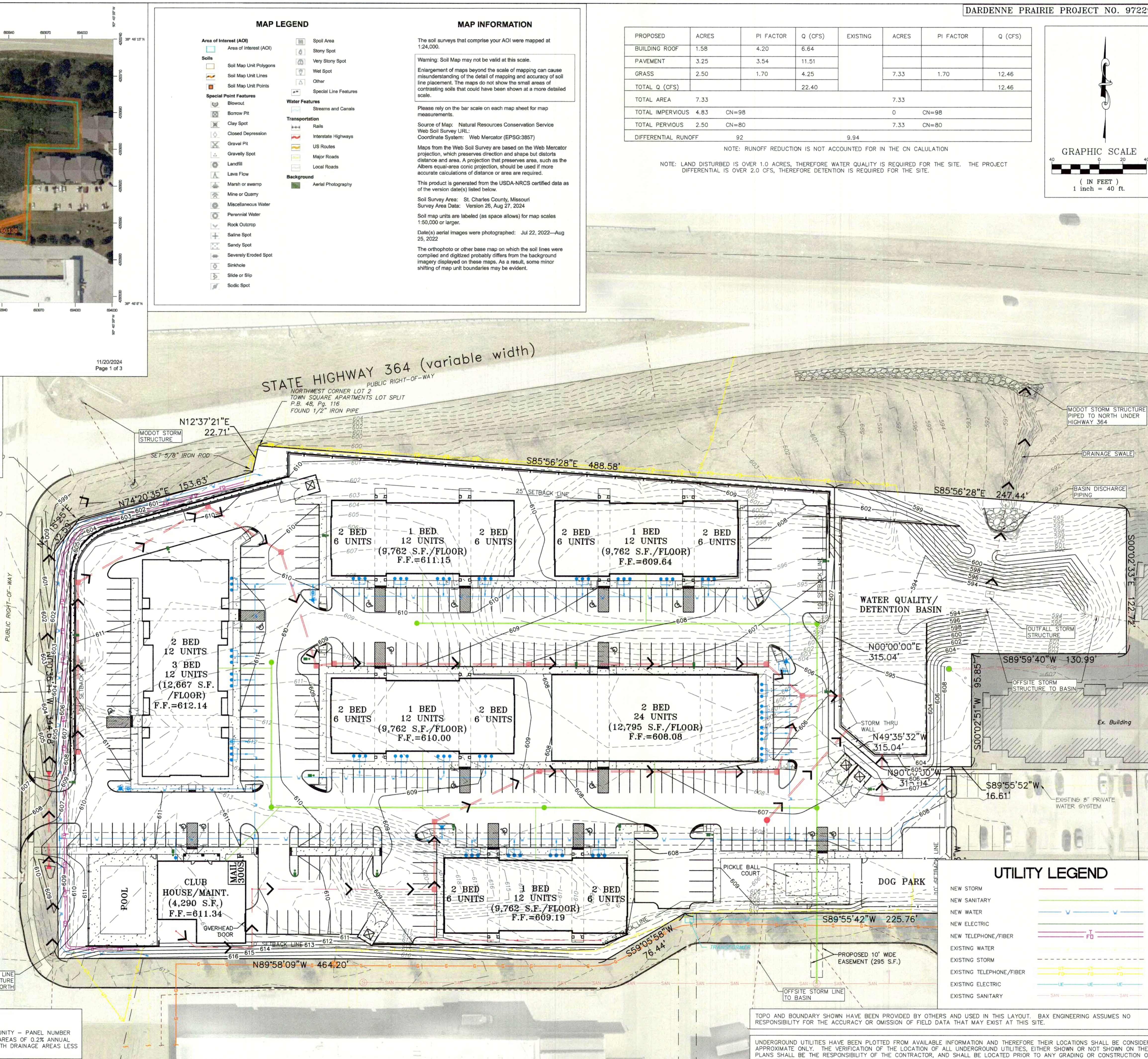
- THE EXISTING SITE CONSISTS OF A DRY DETENTION BASIN WITH AN OUTFALL STRUCTURE. THE BASIN CURRENTLY SERVES THE PROPERTIES TO THE SOUTH AND EAST OF THE AREA OF LAND TO BE DEVELOPED.
- PROPERTY TO THE EAST CURRENTLY HAS A LAKE AND SEVERAL BIO BASIN AREAS AS WELL AS PERVIOUS PAVEMENT INSTALLED ON THEIR PROPERTY THAT PROVIDE WATER QUALITY WITHIN THEIR DEVELOPMENT. THE STORM WATER IS THEN PIPED INTO THE EXISTING DETENTION BASIN ON SITE.
- PROPERTIES TO THE SOUTH WERE BUILT PRIOR TO A WATER QUALITY REQUIREMENT AND ARE PIPED INTO THE ON-SITE DETENTION BASIN.
- THERE APPEARS TO BE NO ADDITIONAL OFFSITE STORMWATER THAT FLOWS ONTO THIS SITE THAT WOULD BYPASS THE DETENTION BASIN.
- THE ACQUIRED EXCESS MODOT RIGHT-OF-WAY LAND (1.04 ACRES) APPEARS TO FLOW TOWARDS TECHNOLOGY DRIVE TOWARDS A DRAINAGE DITCH THAT FLOWS TO THE NORTH INTO A PIPED STORM SYSTEM FROM MODOT AND FLOWS TO THE NORTH SIDE OF HIGHWAY 364.
- THE EXISTING DISCHARGE POINT FROM THE DETENTION BASIN FLOWS OUT VIA A 42" RCP PIPE LOCATED AT THE FAR NORTH EAST PORTION OF THE BASIN INTO MODOT RIGHT-OF-WAY ALONG HIGHWAY 364 TO THE NORTH. FROM THERE IT IS PIPED UNDER 364 TO THE SAME LOCATION AS NOTED UNDER #6 ABOVE. ALL OF THE DISCHARGE FROM THIS SITE AND SURROUNDING PROPERTIES IS PART OF THE PERUQUE CREEK WATERSHED.

**PROPOSED CONDITIONS:**

- THE EXISTING BASIN WILL BE MODIFIED SUCH THAT IT CONTINUES TO PROVIDE DETENTION FOR THE PARCELS AND WILL INCLUDE WATER QUALITY MEASURES SUCH AS NATIVE PLANTINGS TO HELP WITH WATER QUALITY CONTROL.
- THE PROPERTY TO THE EAST WILL CONTINUE WITH THEIR WATER QUALITY MAINTENANCE OF THEIR LAKE AND BIO BASIN AREAS AS WELL AS THEIR PERVIOUS PAVED AREAS. NO CHANGES ARE PROPOSED WITH THAT PROPERTY.
- THE PROPERTIES TO THE SOUTH WOULD HAVE PIPING INSTALLED ON THIS DEVELOPMENT THAT WOULD BE PIPED TO THE NEW LOCATION OF THE WATER QUALITY/DETENTION BASIN AND WOULD NOW BE TREATED WITH WATER QUALITY MEASURES IN THE NEW BASIN AREA.
- THE ACQUIRED EXCESS MODOT PARCEL WILL BE DEVELOPED AS PART OF THIS PLAN SET IN WHICH IT WILL BE DIRECTED TO THE NEW BASIN AREA AND TREATED WITH WATER QUALITY MEASURES.
- THE EXISTING BASIN OUTFALL STRUCTURE AND PIPING MAY NEED TO BE MODIFIED AS REQUIRED FOR THE NEW BASIN AND WATER QUALITY MEASURES THAT WILL BE REQUIRED BY CODE DURING THE IMPROVEMENT PLAN SET PERMIT. ALL RUNOFF DISCHARGE POINTS WILL NOT BE MODIFIED WITH THE DEVELOPMENT.

**FLOOD NOTE**

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI, DARDENNE PRAIRIE (COMMUNITY - PANEL NUMBER 290899 0220 C, DATED JANUARY 20, 2016), THIS TRACT LIES WITHIN ZONE X. ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.



**DARDENNE PRAIRIE PROJECT NO. 972290**

PROPOSED	ACRES	PI FACTOR	Q (CFS)	EXISTING	ACRES	PI FACTOR	Q (CFS)
BUILDING ROOF	1.58	4.20	6.64				
PAVEMENT	3.25	3.54	11.51				
GRASS	2.50	1.70	4.25				
TOTAL Q (CFS)			22.40				12.46
TOTAL AREA	7.33			7.33	1.70		12.46
TOTAL IMPERVIOUS	4.83	CN=98		0	CN=98		
TOTAL PERVIOUS	2.50	CN=80		7.33	CN=80		
DIFFERENTIAL RUNOFF		92				9.94	

NOTE: RUNOFF REDUCTION IS NOT ACCOUNTED FOR IN THE CN CALCULATION

NOTE: LAND DISTURBED IS OVER 1.0 ACRES, THEREFORE WATER QUALITY IS REQUIRED FOR THE SITE. THE PROJECT DIFFERENTIAL IS OVER 2.0 CFS, THEREFORE DETENTION IS REQUIRED FOR THE SITE.

AMENDED PUD FINAL PLAN  
**DARDENNE PRAIRIE APARTMENTS**  
TECHNOLOGY DRIVE  
DARDENNE PRAIRIE, 63368

PREPARED FOR:  
ZM MANAGEMENT  
1100 WOODCHASE DRIVE LANE  
CHELSEA, MO 64607  
314-473-2889

**ENGINEERING PLANNING SURVEYING**

221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

**REVISIONS**

DATE	DESCRIPTION
12-18-24	SITE LIGHTING

STATE OF MISSOURI  
CLIFFORD L. HEITMANN  
NUMBER E-29817  
PROFESSIONAL ENGINEER

CLIFFORD L. HEITMANN  
Civil Engineer  
Engineers License E-29817

11-22-24  
DATE  
24-19350  
PROJECT NUMBER  
19350preFinalareaplan  
FILE NAME  
SWR  
DRAWN  
SWR CLH  
DESIGNED CHECKED

**STORMWATER MANAGEMENT PLAN**

**C-5**



FRONT ELEVATION

SCALE 3/16" = 1'-0"

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF DARDENNE PRAIRIE, MISSOURI, RECOMMENDING TO THE BOARD OF ALDERMEN IMPOSITION OF A MORATORIUM ON THE ACCEPTANCE AND REVIEW OF APPLICATIONS FOR THE REZONING OF PROPERTY FOR THE PURPOSE OF CONSTRUCTING MULTIPLE-FAMILY DWELLINGS IN THE CITY PENDING THE COMMISSION'S STUDY AND REVIEW OF POLICIES, REGULATIONS AND STANDARDS PERTAINING THERETO**

**WHEREAS**, residents have raised concerns pertaining to the impact of adding additional multiple-family dwellings in the City on schools, traffic, property values, crime, the maintenance of open space and public infrastructure and resources, among other things; and

**WHEREAS**, it is to the benefit of the health, safety and general welfare of all residents of the City that the City maintain regulations, policies and standards for the multiple-family dwellings that avoid overcrowding and unsafe and unsanitary living arrangements; and

**WHEREAS**, the Board of Aldermen desires to study, review, and consider policies, regulations and standards for development of multiple-family dwellings within the City; and

**WHEREAS**, to afford it the opportunity to perform the necessary study and review of the impact of multiple-family dwellings on schools, traffic, property values, crime, the maintenance of open space and public infrastructure and resources, among other things, and how best to address any negative impacts, the Planning and Zoning Commission recommends the Board of Aldermen impose a moratorium not to exceed one (1) year on the acceptance and consideration of applications for zoning amendments that include requests for multiple-family dwellings.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF DARDENNE PRAIRIE, MISSOURI, AS FOLLOWS:**

**Section One.** The Planning and Zoning Commission hereby declares its intention to study, review, and consider policies, regulations and standards for development of multiple-family dwellings within the City.

**Section Two.** The Planning and Zoning Commission recommends to the Board of Aldermen the imposition of a moratorium not to exceed one (1) year on the acceptance and consideration of applications for zoning amendments that include requests for multiple-family dwellings during the pendency of the study, review, and consideration of the regulations and standards described in Section 1 of this Resolution.

**Section Three.** This Resolution shall be in full force and effect from and after its passage and approval.

PASSED AND RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF DARDENNE PRAIRIE, MISSOURI, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
Chairperson

Attest:

\_\_\_\_\_  
City Clerk

**EXHIBIT A**

**[INSERT ORDINANCE OF BOARD APPROVING MORATORIUM]**